



LAND USE PLAN 2035

Department of Development Services

416 West Broadway Ave. Maryville, TN 37801

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OVERVIEW

The State of Tennessee designates that “it is the function and duty of the [municipal planning] commission to make and adopt an official general plan for the physical development of the municipality. . . . The plan, with accompanying maps, plats, charts, and descriptive and explanatory matter, shall show the commission’s recommendations for the physical development of the area of the municipal planning jurisdiction. . . .” [Tenn. Code Ann. § 13-4-201 (2014)]

“The plan shall be made with the general purpose of guiding and accomplishing a coordinated, adjusted and harmonious development of the municipality which will, in accordance with existing and future needs, best promote public health, safety, morals, order, convenience, prosperity, and the general welfare, as well as efficiency and economy in the process of development, and identify areas where there are inadequate or nonexistent publicly or privately owned and maintained services and facilities when the planning commission has determined the services are necessary in order for development to occur.” [Tenn. Code Ann. § 13-4-203 (2014)]

“It is the intention of the [Maryville city] council that [the city’s zoning] ordinance implements the planning policies and affects the zoning adopted by the council for the city, as reflected in the land-use plan” [The Maryville Municipal Code § 14-201 (6), (2014)]

The Land Use Plan provides:

- an explanation of the plan’s purpose
- an assessment of the current situation
- the City of Maryville’s major land use goals
- the City’s planning objectives
- the Future Land Use Map

PURPOSE

The Land Use Plan integrates constraints, opportunities, economic necessities, aesthetics, and the health and welfare of the population into the long term development outlook for the city. The Plan balances those concerns across the entire city and provides a rationale for future changes. It provides the basis for the zoning ordinance, which guide the implementation of the City’s vision for development.

The Plan presents an updated **future land use map**, which provides the points-of-reference from which the planning commission can deliberate proposed zoning changes. By requiring that zoning changes are in accordance with the planning commission’s designations of future land use ensures that zoning addresses the broader concerns of the city.

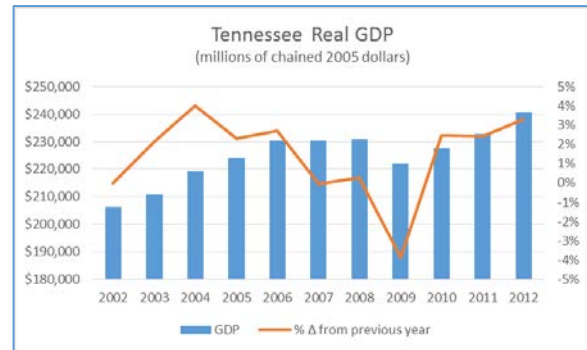
The future land use map and the zoning map provide current and future land owners the development framework for the city on which investment decisions can be made. Adherence to the land use plan and to the zoning ordinance ensures consistency and stability for future development and provides a level of certainty to current and future land owners.

CURRENT SITUATION

In order to provide context for the long term development of the city, the Land Use Plan assesses the current situation in terms of economics, population change, current land use, physical constraints to development (flood zones, and slope), and regional context (planning decisions within the urban growth boundary). The assessment provides a realistic base for establishing objectives supporting the City's development goals.

ECONOMICS

There is not gross domestic product data for Maryville. Using data for Tennessee, the average annual change in GDP from 2002 to 2012 was 1.5%. From 2002 to 2009 the average annual change was 1%. GDP from 2009 (recent low point) to 2012 has increased at an average rate of 2.7%. The increase in GDP from 2011 to 2012 was 3.28%.



MANUFACTURING

Comparing US Economic Census data, available for both Maryville and Tennessee, shows that from 2002 to 2012 the value of manufacturing sales, shipments, receipts, or business, in real dollars, decreased by 10% in Maryville, and by 0.11% in Tennessee. Annual payroll per capita from manufacturing, in real dollars, decreased by 22% in Maryville, and by 33% in Tennessee. The number of paid employees decreased by 22% (862) in Maryville, and by 29% (117,849) in Tennessee.

WHOLESALE TRADE

From 2002 to 2012 the value of wholesale trade sales, shipments, receipts, or business, in real dollars, increased by 126% in Maryville, and by 35% in Tennessee. Annual payroll per capita from wholesale trade, in real dollars, decreased by 38% in Maryville, and increased by 11% in Tennessee. The number of paid employees decreased by 15% (46), and by 8% (9,297) in Tennessee.

RETAIL TRADE

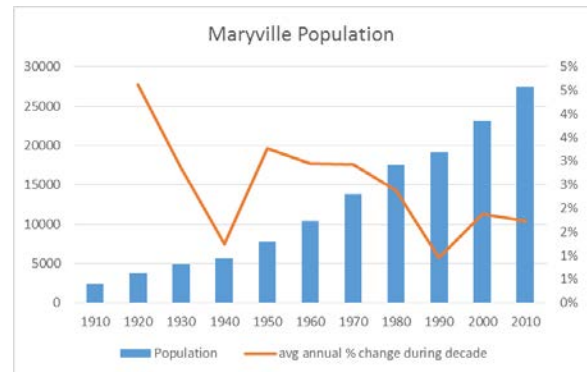
From 2002 to 2012 the value of retail trades sales, shipments, receipts, or business, in real dollars, increased by 22% in Maryville, and by 19% in Tennessee. Annual payroll per capita from retail trade, in real dollars, increased by 12% in Maryville, and decreased by 11% in Tennessee. The number of paid employees increased by 48% (895) in Maryville, and by 0.5% (1,426) in Tennessee.

ACCOMMODATION AND FOOD SERVICES

From 2002 to 2012 the value of accommodation and food services sales, shipments, receipts, or business, in real dollars, decreased by 15% in Maryville, and increased by 21% in Tennessee. Annual payroll per capita from accommodation and food services, in real dollars, decreased by 28% in Maryville, and increased by 9% in Tennessee. The number of paid employees decreased by 15% (281) in Maryville, and increased by 19% (28,707) in Tennessee.

POPULATION

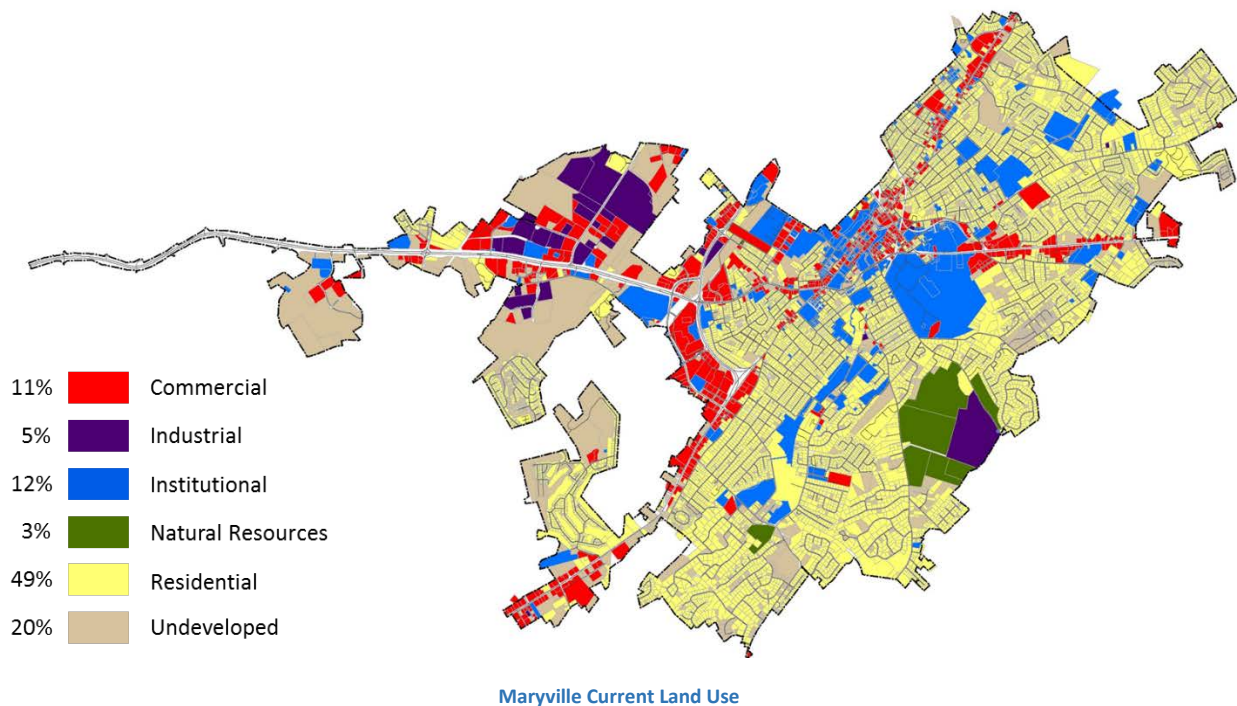
The US Census American Community Survey population estimate for Maryville 2013 is 27,992. In the 2000s Maryville's average yearly population growth was 1.74%. From 2010 to 2013 the average annual growth rate was 0.5%. At that growth rate, Maryville's estimated 2015 population will have increased by 281, requiring an estimated 114 additional housing units.



CURRENT LAND USE

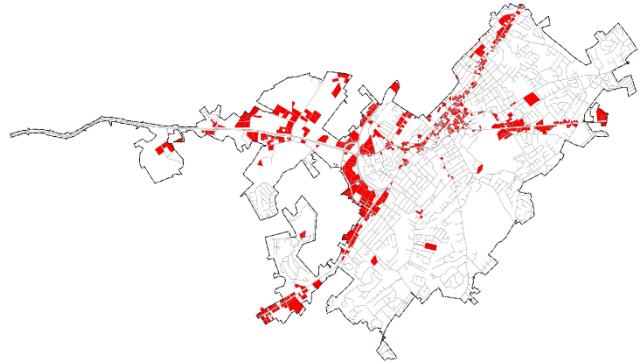
The assessment of Maryville's current land use is based on Blount County Parcel data. The city of Maryville comprises 11,244 parcels covering 9,484 acres. There are six current land use categories:

The predominant land use in the city is residential and is 3.5 times more prevalent than the next highest land use, commercial. The land use is mixed along major travel corridors (US 321, 441, 411). Each land use is addressed below.



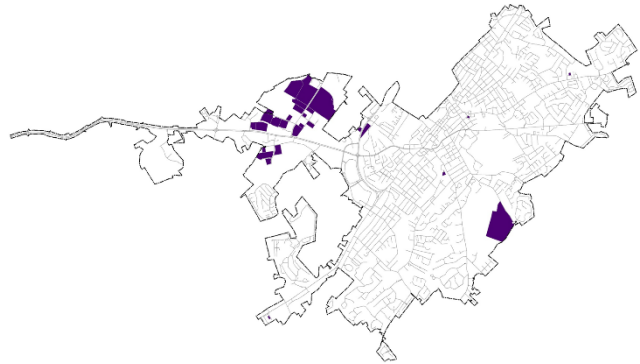
COMMERCIAL LAND USE

Eleven percent (1,024 acres) of Maryville is used for commercial purposes and accounts for 31% of the city's property tax revenue. The average parcel is 1.46 acres. The median parcel is 0.69 acres. Commercial use occurs in 13 different zoning districts, including the Residential district (8%). The majority (55%) occurs in the Business and Transportation zoning district.



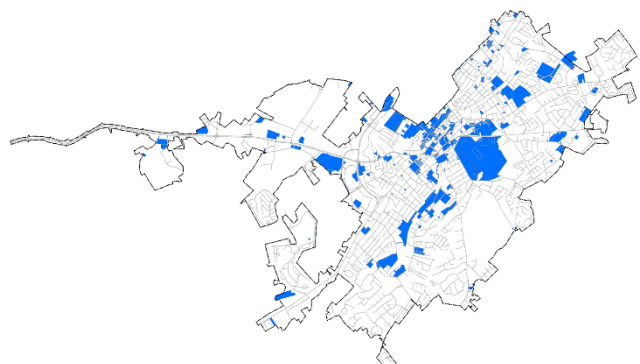
INDUSTRIAL LAND USE

Five percent (443 acres) of Maryville is used for industry and accounts for 16% of the city's property tax revenue. The average parcel is 15.82 acres. The median parcel is 6.97 acres. Industrial use occurs in the zoning districts of Industrial (73%), Business Transportation (24%), Central Community (0.2%), High Intensity Retail (2%), and Residential (0.2%).



INSTITUTIONAL LAND USE

Twelve percent (1142 acres) of the city is used for government and for non-profits. The average parcel is 2.85 acres. The median parcel is 0.38 acres. Institutional use occurs in 16 different zoning districts. The majority (38%) occurs in the Residential district.



NATURAL RESOURCE LAND USE

Three percent (297 acres) of the city purposes natural resources and accounts for less than 1% of the city's property tax revenue. The average parcel is 49.56 acres. The median parcel is 24.96 acres. Natural resource use occurs in the zoning districts of Environmental Conservation (85%), Residential (15%) and High Intensity Retail (0.2%).



RESIDENTIAL LAND USE

Forty-nine percent (4,644 acres) of Maryville is used for residences and accounts for 52% of city's property tax revenue. The average parcel is 0.53 acres. The median parcel is 0.34 acres. Residential use occurs in 16 zoning districts.

Note: The Blount County parcel data shows multi-family residential (rental) use as commercial. There are 11,275 housing units in Maryville according to the US Census; thirty percent are multi-unit housing on 322 parcels covering 287 acres. Multi-unit housing occurs in 14 zoning districts.



UNDEVELOPED PARCELS

Twenty percent of Maryville is undeveloped, meaning the Blount County parcel data listed no "improved value" for the site. The parcels were further verified using aerial photographs using the following provisos: the parcel was not included if it had at least one built structure, even though depending on lot size the parcel could accommodate more development; parcels that served natural resource purposes were not included; parking lots and salvage lots were considered as developed. The average parcel is 1.52 acres. The median parcel is 0.36 acres. The majority of undeveloped land is in the Residential zoning district (42%) and in the Business and Transportation district (14%).



PHYSICAL CONSTRAINTS

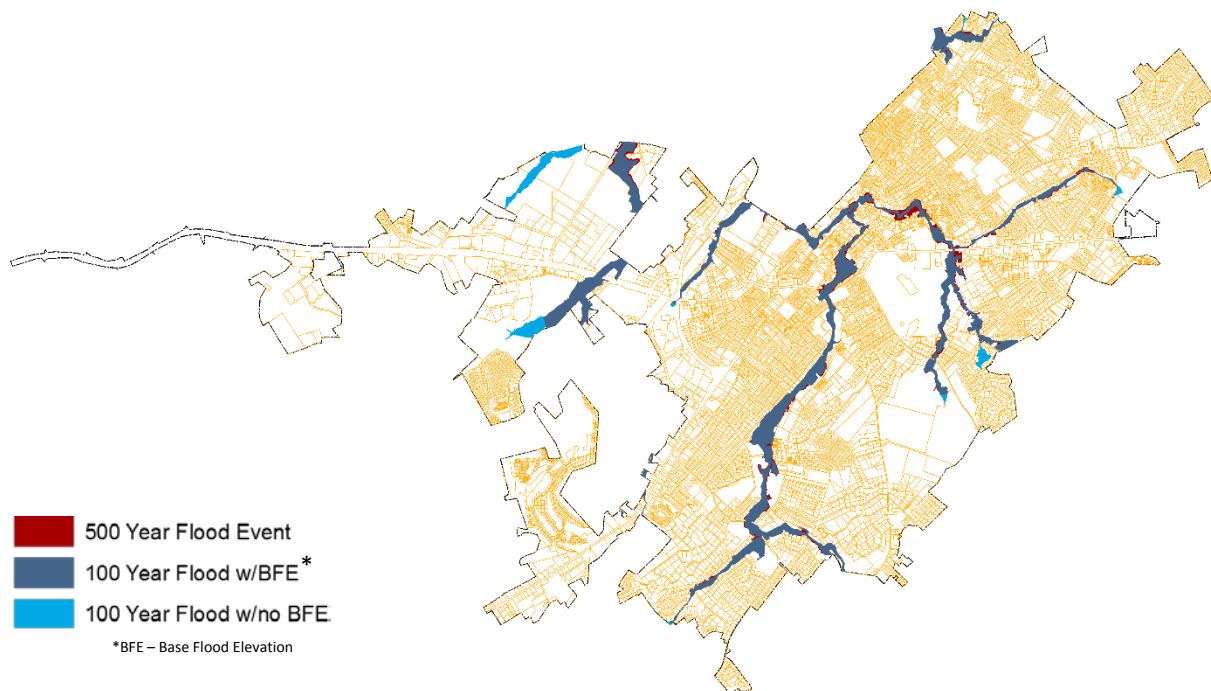
The two primary physical constraints that limit development are flood hazard areas and slope.

FLOOD HAZARD AREAS

Areas of Maryville are subject to periodic inundation which could result in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of the tax base, all of which adversely affect the public health, safety and general welfare. The City's objectives are to:

- minimize expenditure of public funds for costly flood control
- minimize the need for rescue and relief efforts associated with flooding and generally undertaken at the expense of the general public
- minimize prolonged business interruptions
- minimize damage to public facilities and utilities such as water and gas mains, electric, telephone and sewer lines, streets and bridges located in floodable areas
- help maintain a stable tax base by providing for the sound use and development of flood prone areas in such a manner as to minimize blight in flood areas
- ensure that potential property owners are notified when a property is in a floodable area
- maintain eligibility in the National Flood Insurance Program

Five hundred forty three acres of the city have a 1% chance of flood in any given year. An additional 34 acres have a 0.2% chance of flood in any given year.

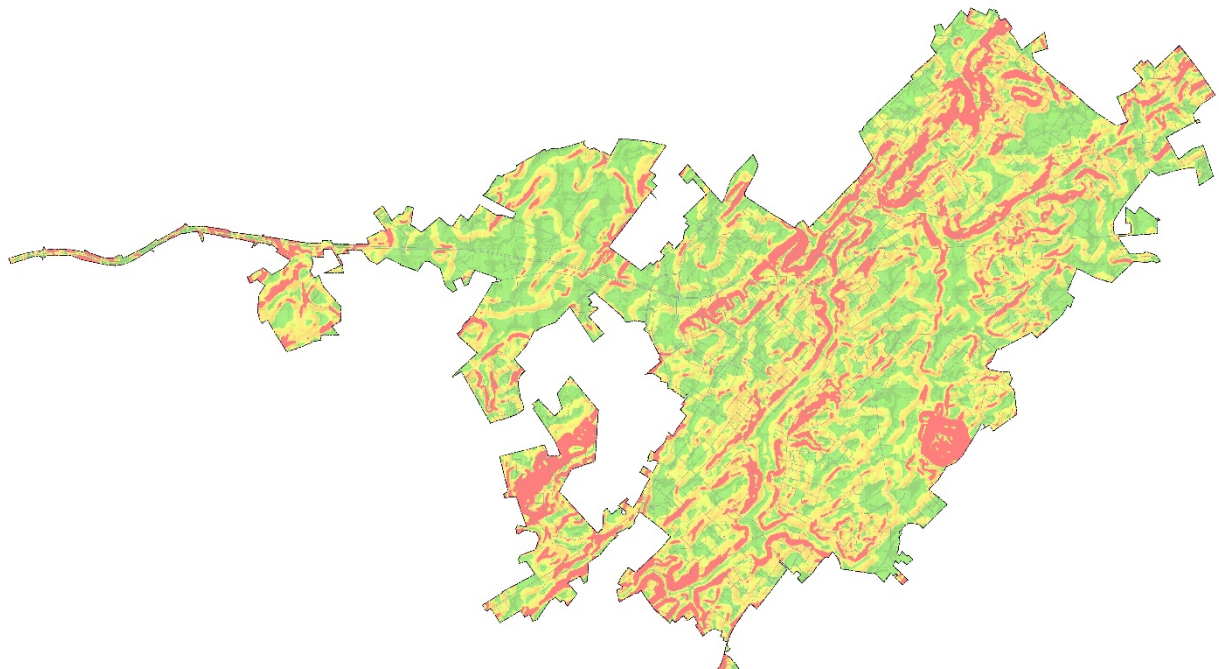


Maryville Flood Hazard Areas

SLOPE

The Effect of Slope on Various Land Uses*	
LAND USE	Almost no land uses are feasible with slopes less than 0.5% because of problems with surface drainage of rain.
Slopes 0.5 to 1%	
Industrial	Ideal for large-scale, linear production uses
Commercial	Expensive due to drainage problems
Residential	Expensive due to drainage problems
Roads	Expensive due to drainage problems
Recreation	Suitable for picnic areas and informal, small-group field sports
Slopes 1 to 3%	
Industrial	Suitable for moderate and small plants without extensive linear production; trucking terminals; warehouses. A three percent grade is the upper limit for uninhibited trucking operations.
Commercial	Generally suitable for all types
Residential	Generally suitable for all types
Roads	No limitations on geometry of road system
Recreation	Ideal for playgrounds and playfields, intensive picnic areas, intensive informal sports areas
Slopes 3 to 5%	
Industrial	Suitable for intensive, small-scale industry with minimum trucking needs
Commercial	Suitable for small-scale, individual structures. Parking areas must be terraced.
Residential	Suitable for single-family and multi-family residences; townhouses; high-rise apartments (with terraced parking lots or parking garages)
Roads	Truck roads must run parallel with, or diagonal to, the contours; high speed roads similarly limited.
Recreation	Playgrounds and playfields (slopes less than 4%); picnic areas; informal field sports; camping; golf courses; nature trails; natural hiking areas.
Slopes 5 to 10%	
Industrial	Suitable for intensive, small-scale industry on slopes not exceeding 7%. Truck access is difficult and expensive where slopes exceed 7%.
Commercial	Suitable for small-scale, individual structures where slopes do not exceed 8%, and with practically no demand for parking.
Residential	Suitable for single-family and multi-family residences; townhouses; high-rise apartments (with terraced parking lots or parking garages)
Roads	Truck roads and high speed roads must run parallel with, or diagonal to, the contours. Where slopes exceed 8%, routing is dictated by terrain; access from abutting properties is problematic due to cut and fill requirements of the roadway.
Recreation	Golf course, picnic area, camping, hiking.
Slopes greater than 10% (As a general rule, lands with slopes exceeding 30% should be left undisturbed)	
Industrial	Economically impractical
Commercial	Generally, economically impractical
Residential	Hillside subdivision for single-family homes
Roads	Road design requires higher levels of engineering
Recreation	Picnic areas, camping, hiking.

*Anderson, L.T. (2000). *Planning the Built Environment*. Chicago, IL: Planners Press



Maryville Slopes

ZONING AND LAND USE

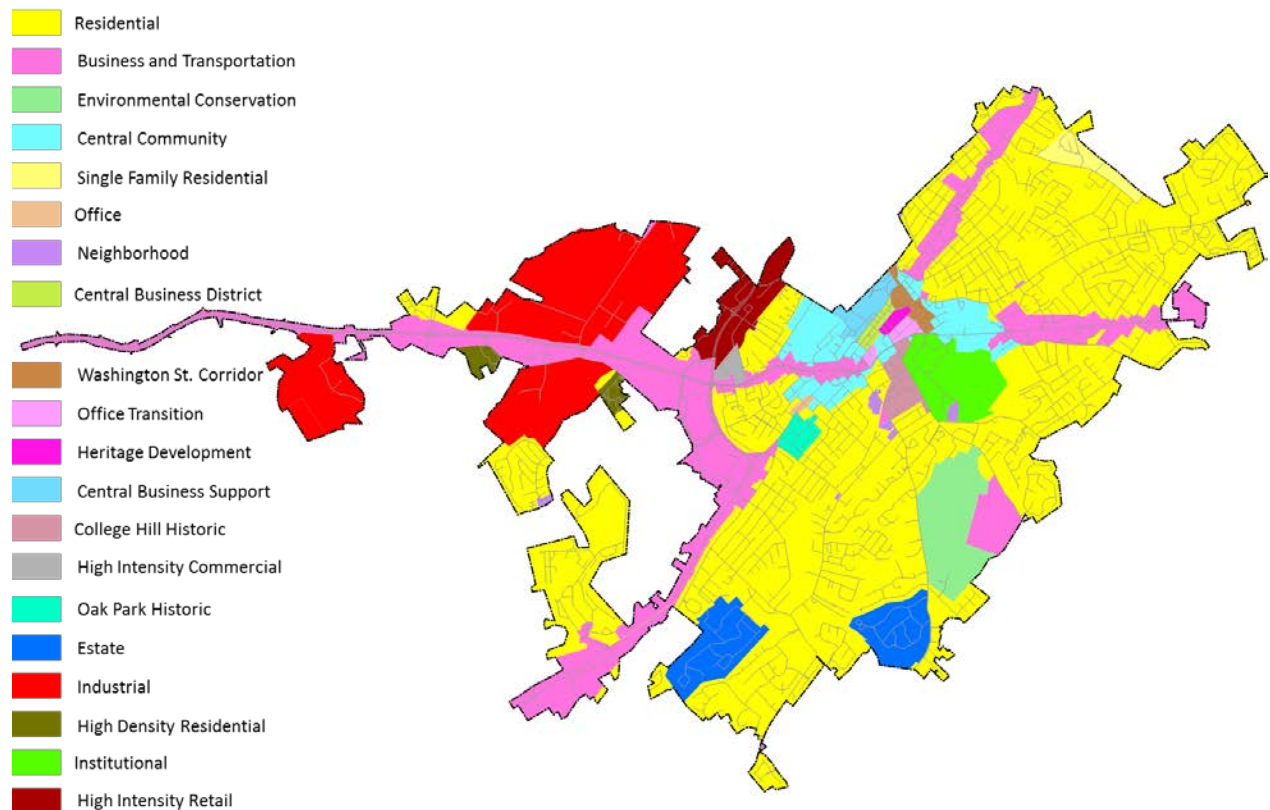
The City of Maryville has 20 zoning districts, which provide detailed development criteria. Maryville's zoning districts fall into two general categories: Mixed Use (22%), and Single Use (78%). There is enough similarity among some zoning classifications that certain districts could be combined. The necessary differences could be addressed by conditional requirements. For the analysis similar zoning districts are grouped together.

The zoning districts that allow mixed uses are:

- Business and Transportation
- Central Community
- Central Business
- Central Business Support
- Washington Street Corridor
- Office Transition
- Heritage Development
- Office (limited mixed use)
- Neighborhood (limited mixed use)
- Environmental Conservation (limited mixed use)

Maryville primarily single use zoning districts are:

- Residential
- Single Family Residential
- Estate
- College Hill Historic
- Oak Park Historic
- High Density Residential
- High Intensity Retail
- High Intensity Commercial
- Industrial
- Institutional



MIXED USE ZONING DISTRICTS

Twenty-two percent of the city (2,063 acres; 1,727 parcels) is in a zoning district that is primarily mixed use.

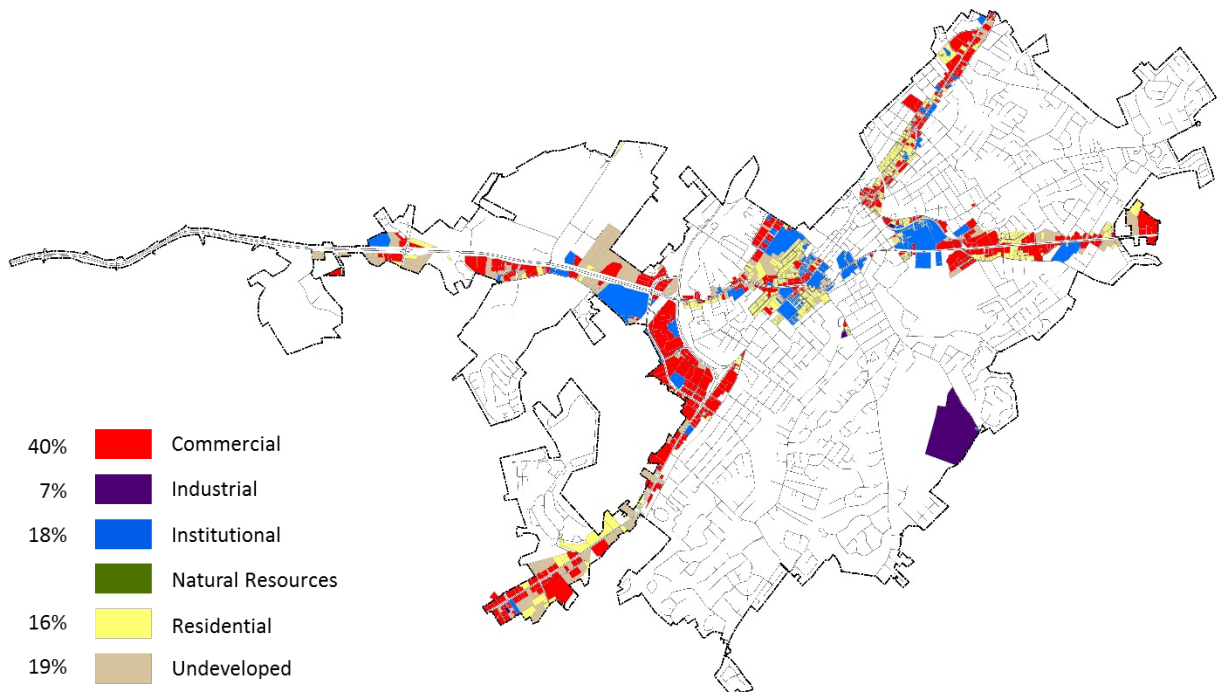
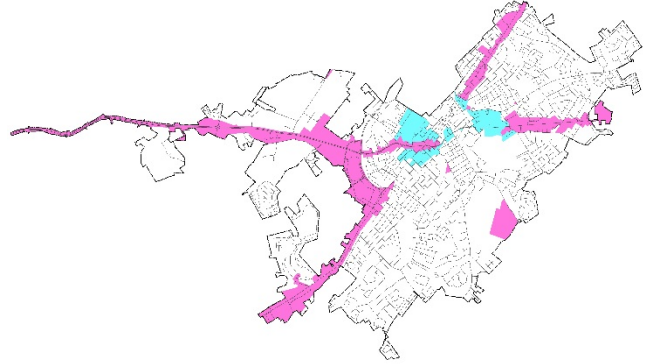
BUSINESS AND TRANSPORTATION AND CENTRAL COMMUNITY ZONING

Sixteen percent of the city (1,578 acres; 1,393 parcels) is zoned ■ Business and Transportation (13%) or ■ Central Community (3%).

These two districts comprise 61% of the city's commercial land use; 25% of its industrial land use; 26% of its institutional land use; 5% of the city's residential land use; and 17% of the city's undeveloped land.

Discounting undeveloped property, the majority of the two districts is non-residential (81%).

The Business and Transportation district nearly allows all uses. The Central Community district is very similar to the Business and Transportation district except that salvage yards, bus stations, and off-premise are not allowed, and the minimum lot width in the Central Community district is 50 feet compared to 100 feet in the Business and Transportation district.



Business Transportation and Central Community Districts' Current Land Use

DOWNTOWN ZONING

Less than 2 percent of the city (144 acres; 258 parcels) is zoned ■ Central Business District (0.2%), ■ Central Business Support (1%), ■ Heritage Development (0.1%), ■ Office Transition (0.2%), or ■ Washington Street Corridor (0.3%).

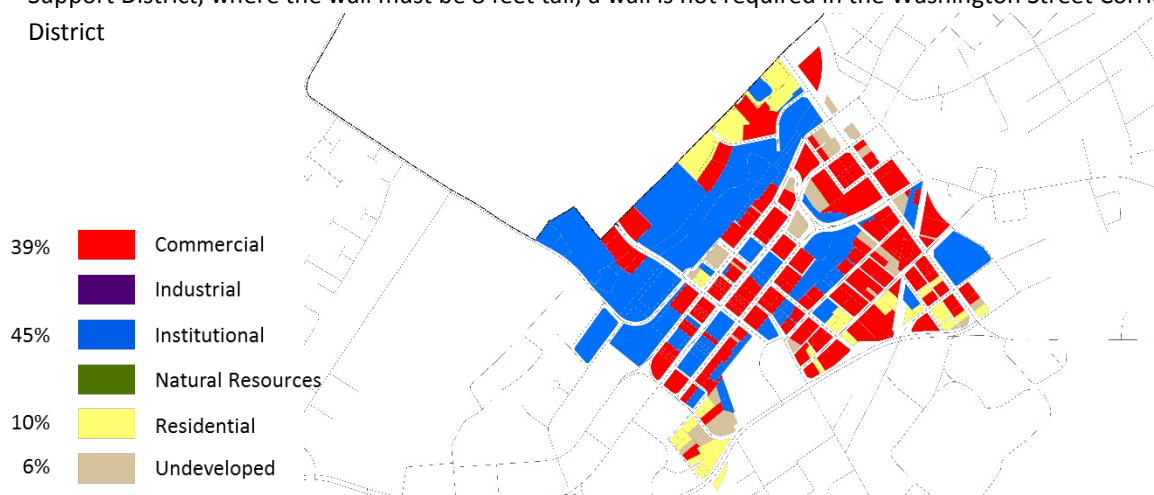
These five districts comprise 5% of the city's commercial land use; 6% of its institutional land use; 0.3% of the city's residential land use; and 0.5% of the city's undeveloped land.



Discounting undeveloped property, the majority of the downtown districts is non-residential (84%).

The Downtown Districts' uses range from residential to commercial to industrial to institutional. For the most part, the downtown districts are similar except for:

- The Central Business District (CBD) has a maximum setback of 10 feet; all others have a maximum of 20 feet
- The maximum building height is 45 feet; except in the CBD, where the maximum is 65 feet (staggered); and in the Office Transition District, where the maximum is 30 feet
- The maximum number of stories is 3; except in the CBD, where it is unspecified; and in the Office Transition District, where it is two.
- Single family detached houses are not allowed except in the Office Transition District
- The maximum area allowed for parking is 30%; except in the CBD, where it is 10%; and in the Washington Street Corridor District, where it is 40%
- The CBD allows aluminum storefront glazing
- The Washington Street Corridor District allows parking opposite the street frontage
- The Washington Street Corridor District does not address windows and doors
- New buildings in the Office Transition District must have porches, columns, 4:12 roofs with gables, and match single family residences
- A 6 foot wall is required between parking and adjoining street; except in the CBD and Central Business Support District, where the wall must be 8 feet tall; a wall is not required in the Washington Street Corridor District



Downtown District's Current Land Use

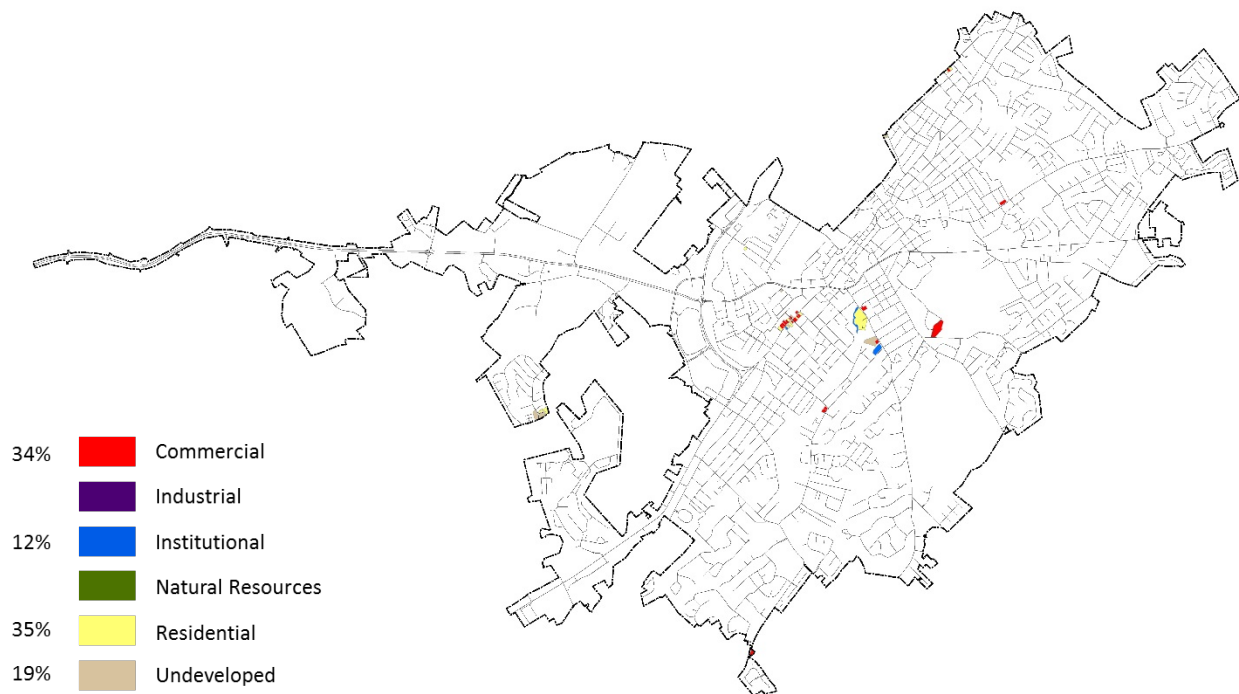
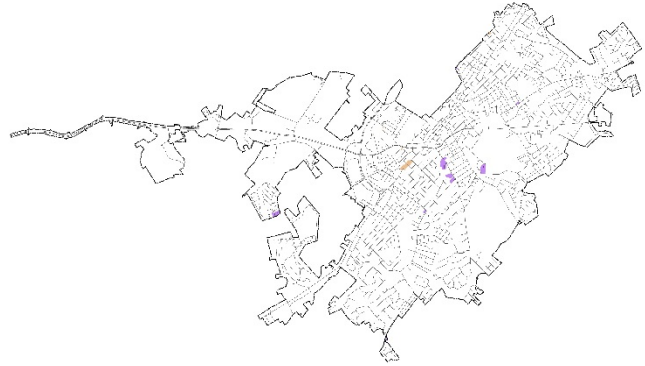
NEIGHBORHOOD AND OFFICE ZONING

Less than one percent of the city (40 acres; 46 parcels) is zoned ■ Neighborhood (0.3%) or ■ Office (0.1%).

These two districts comprise 1% of the city's commercial land use; less than 1% of its institutional land use; less than 1% of the city's residential land use; and less than 1% of the city's undeveloped land.

Discounting undeveloped property, the majority of the two districts is non-residential (57%).

The districts are designed to “accommodate a mixture of compatible professional and business offices, residential uses, personal care uses and services that neither generate large volumes of traffic nor need great amounts of off-street parking” [§14-209 (1)]. The only difference between the two districts is that the Office District does not allow convenience stores.



Neighborhood and Office Districts' Current Land Use

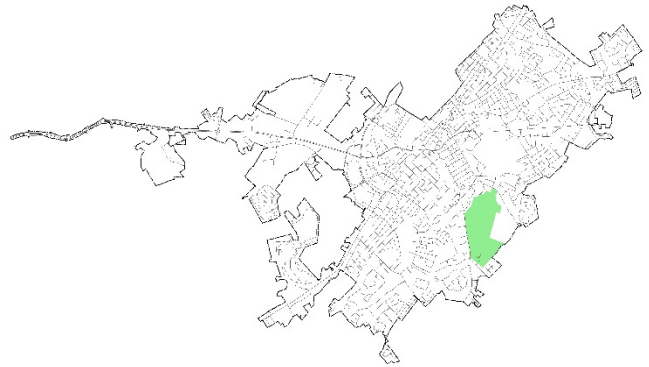
ENVIRONMENTAL CONSERVATION ZONE

Three percent of the city (300 acres; 30 parcels) is zoned Environmental Conservation.

The district comprises 84% of the city's natural resources land use; less than 1% of the city's residential land use; and 1% of the city's undeveloped land.

Discounting undeveloped property, the majority of the district is non-residential (93%).

The district is designed to for low to moderate development intensity and areas with low development capability, such as flood hazard areas and steep slopes [§14-209 (1)].



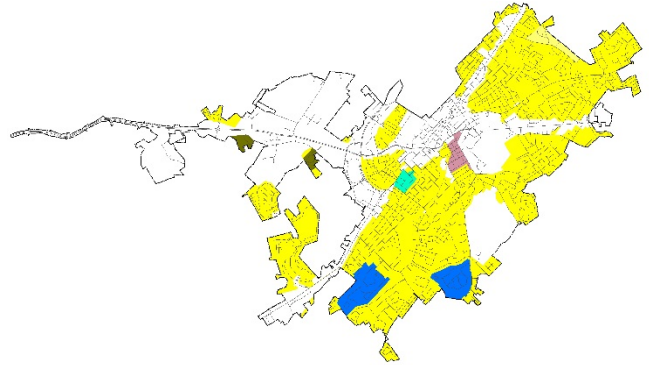
Environmental Conservation District Current Land Use

SINGLE USE ZONING DISTRICTS

Seventy-eight percent of the city (7,421 acres; 9,517 parcels) is in a zoning district that is primarily single use.

RESIDENTIAL ZONING

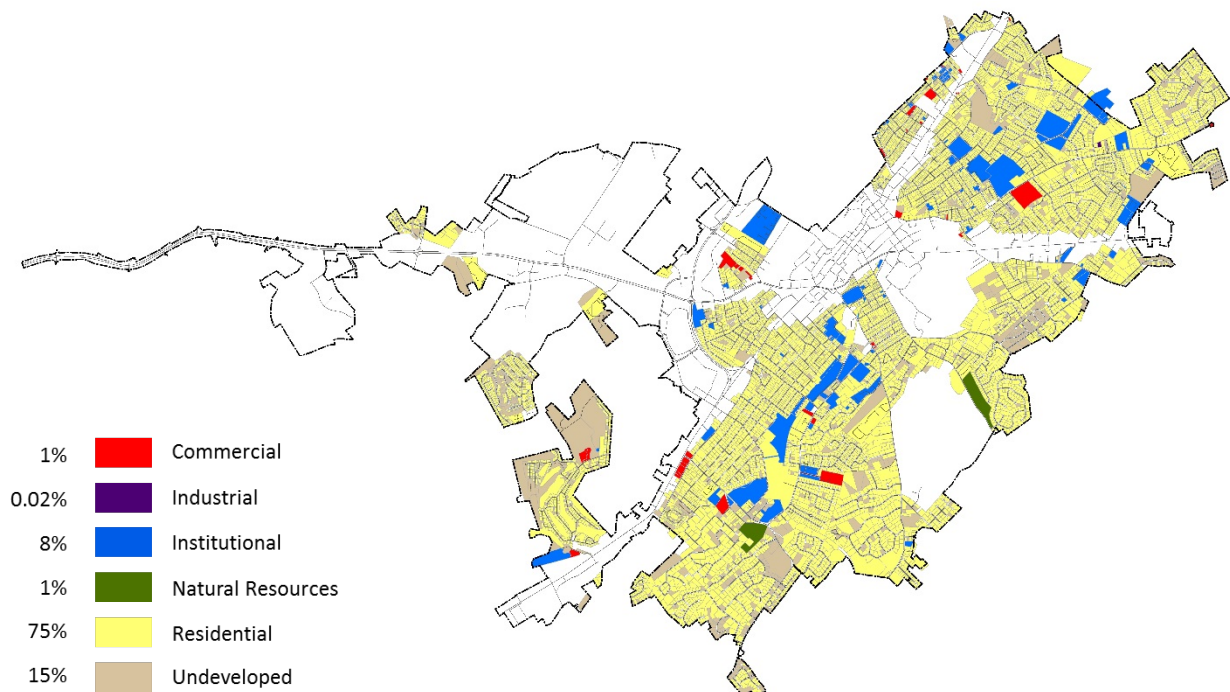
Sixty one percent of the city (5,792 acres; 9,328 parcels) is zoned ■ College Hill Historic District (0.6%), ■ Estate (3.5%), ■ High Density Residential (0.8%), ■ Oak Park Historic District (0.4%), ■ Residential (54.4%), or ■ Single Family Residential (1.3%).



These six districts comprise 8% of the city's commercial land use; 0.02% of its industrial land use; 41% of its institutional land use; 15% of its natural resources land use; 93% of the city's residential land use; and 46% of the city's undeveloped land.

Discounting undeveloped property, only 12% of the residential districts is non-residential.

According to the US Census, Maryville has 11,275 housing units (10,523 occupied). Sixty-eight percent of the housing units are 1-unit detached [2009-13 American Community Survey]. The multi-unit housing, which includes 1-unit attached, occurs in 13 different zoning districts. The Residential District has 578 parcels that accommodate multi-unit housing; the next highest is the Business and Transportation District with 79 parcels; and the third highest is the Central Community District with 41 parcels. As far as acreage, the Residential District has 279 acres that accommodate multi-unit housing; the next highest is the High Density Residential District with 37 acres; and the third highest is the Business and Transportation District with just under 37 acres.



Residential Zoning Districts' Current Land Use

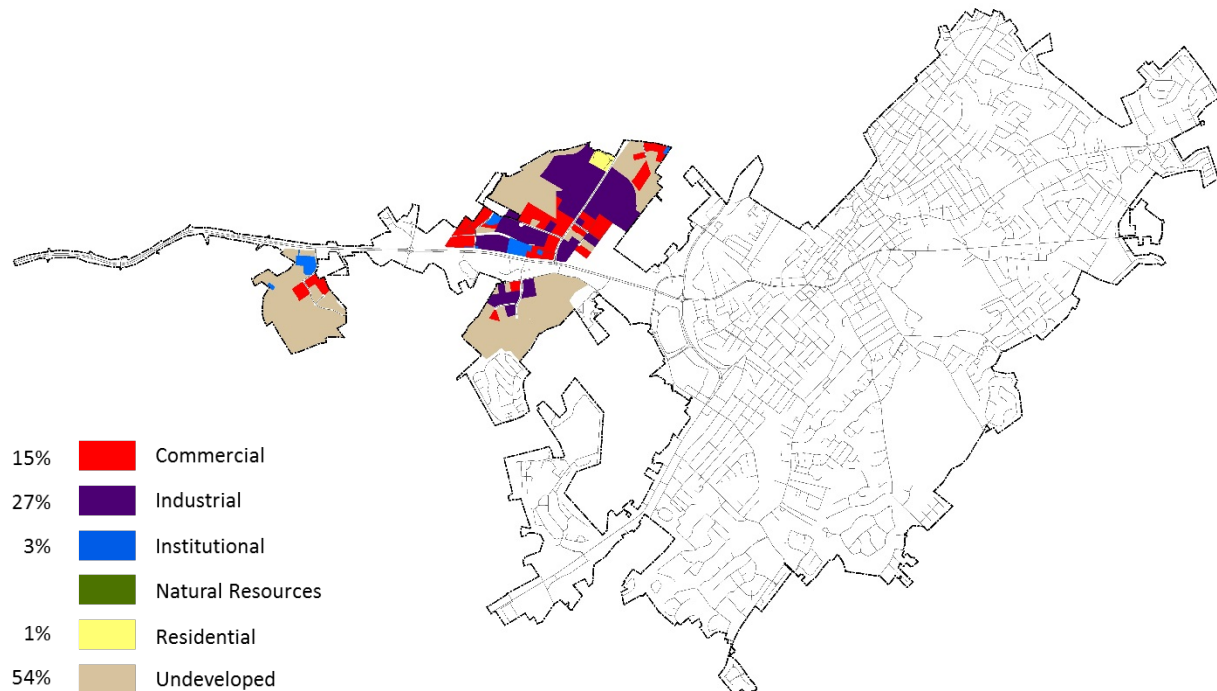
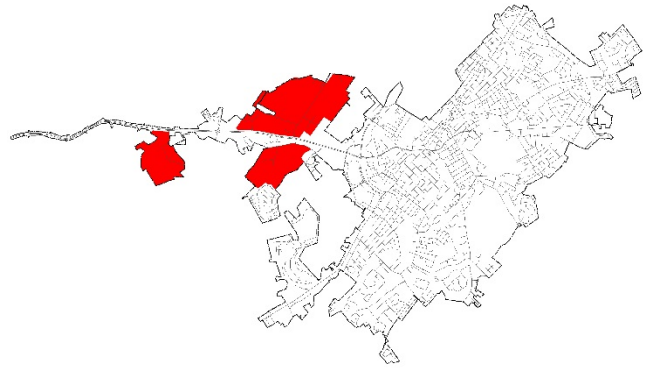
INDUSTRIAL ZONE

Thirteen percent of the city (1,188 acres; 89 parcels) is zoned Industrial.

The district comprises 17% of the city's commercial land use; 73% of the city's industrial land use; 3% of the city's institutional land use; less than 1% of the city's residential land use; and 33% of the city's undeveloped land.

Discounting undeveloped property, the majority of the district is non-residential (97%).

The district is designed for manufacturing, processing, assembly, fabrication of materials, and warehousing [§14-209 (1)].



Industrial Zone Current Land Use

HIGH INTENSITY COMMERCIAL AND HIGH INTENSITY RETAIL

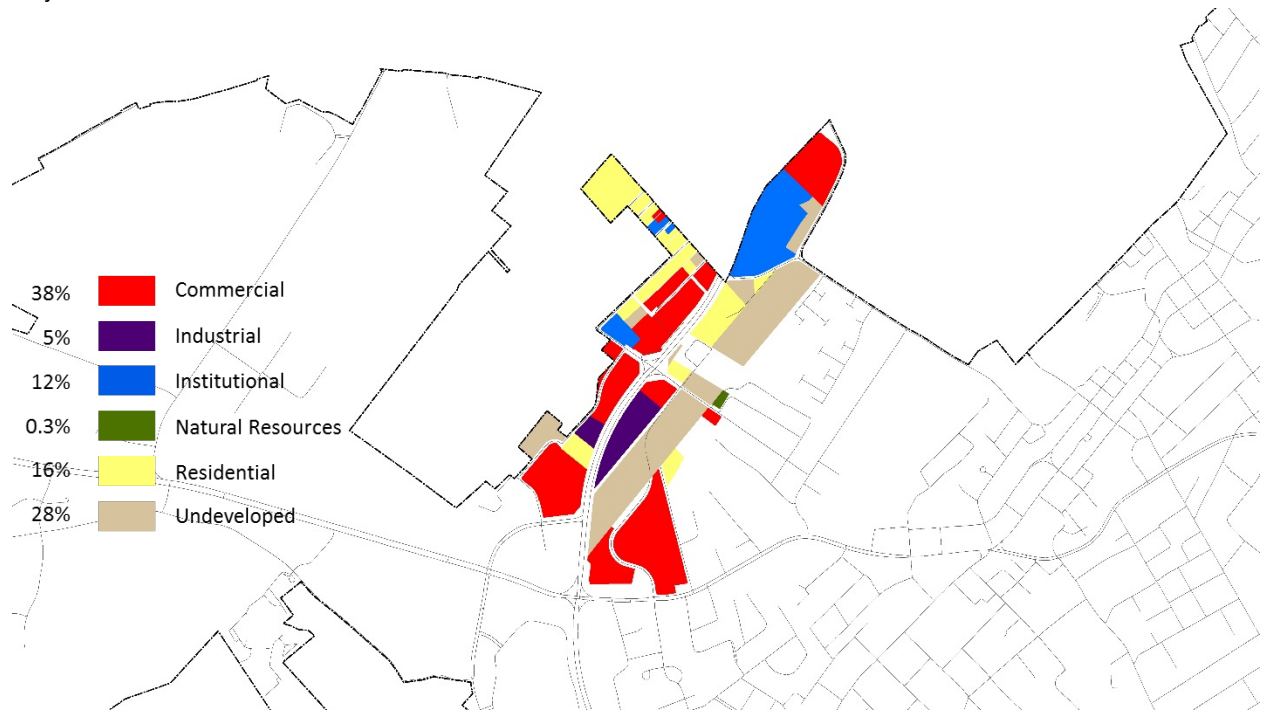
Two percent of the city (184 acres; 95 parcels) is zoned ■ High Intensity Commercial (0.3%) or ■ High Intensity Retail (1.7%).

These two districts comprise 7% of the city's commercial land use; 2% of its industrial land use; 2% of its institutional land use; less than 1% of its natural resources land use; less than 1% of the city's residential land use; and 3% of the city's undeveloped land.



Discounting undeveloped property, the majority of the two districts is non-residential (78%).

The High Intensity Commercial District is designed to be a high visibility commercial zone accommodating large scale conglomerate developments. The High Intensity Retail is designed for concentrated retail development along major road corridors.



High Intensity Commercial and Retail Districts' Current Land Use

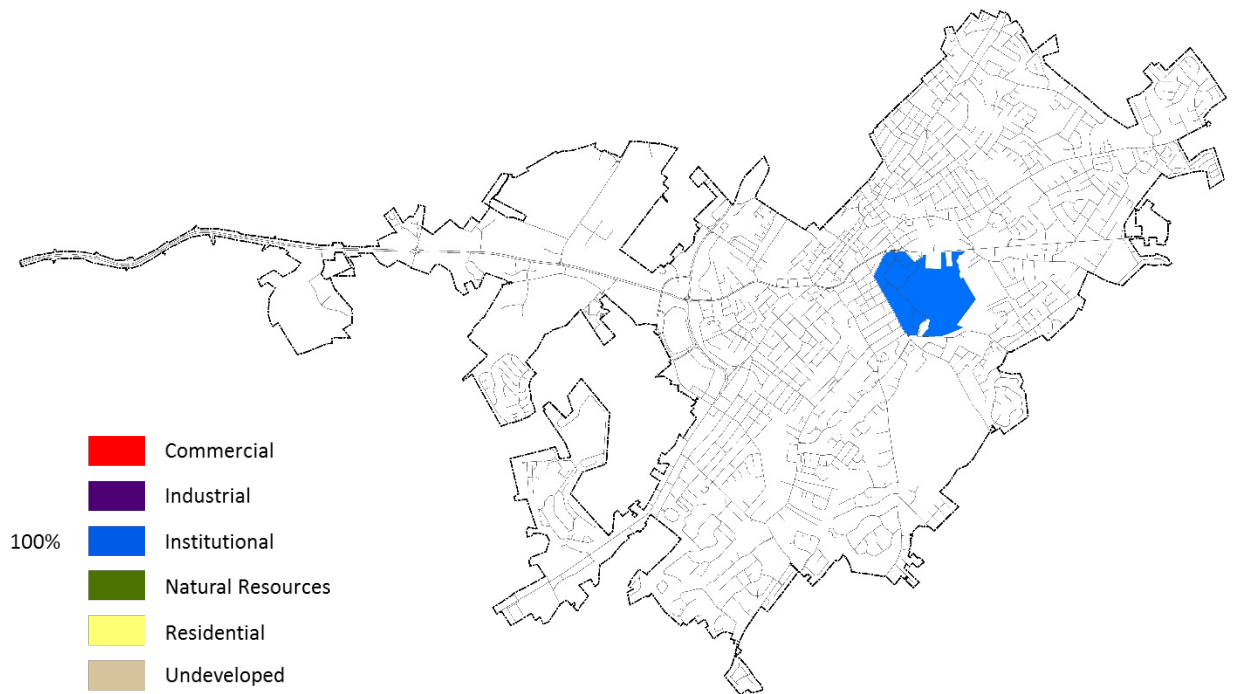
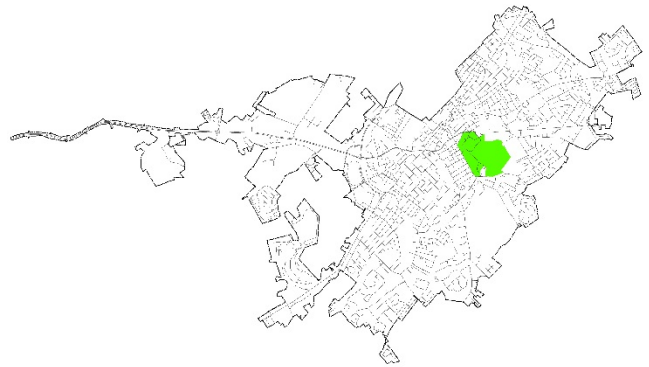
INSTITUTIONAL ZONING

Three percent of the city (257 acres; 5 parcels) is zoned Institutional.

The district comprises 23% of the city's institutional land use.

Institutional is the only land use in the Institutional Zoning District

The district is designed for traditional academic and educational institutions and for complimentary and accessory uses associated with a college campus. [§14-209 (1)].

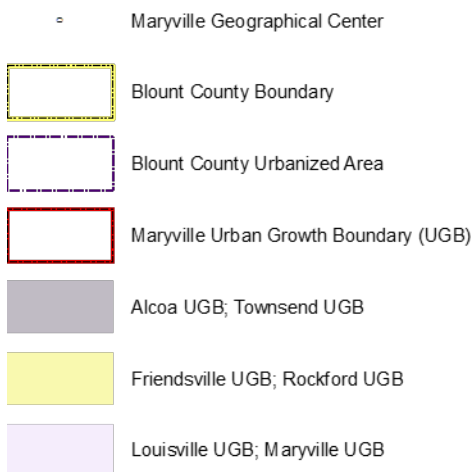
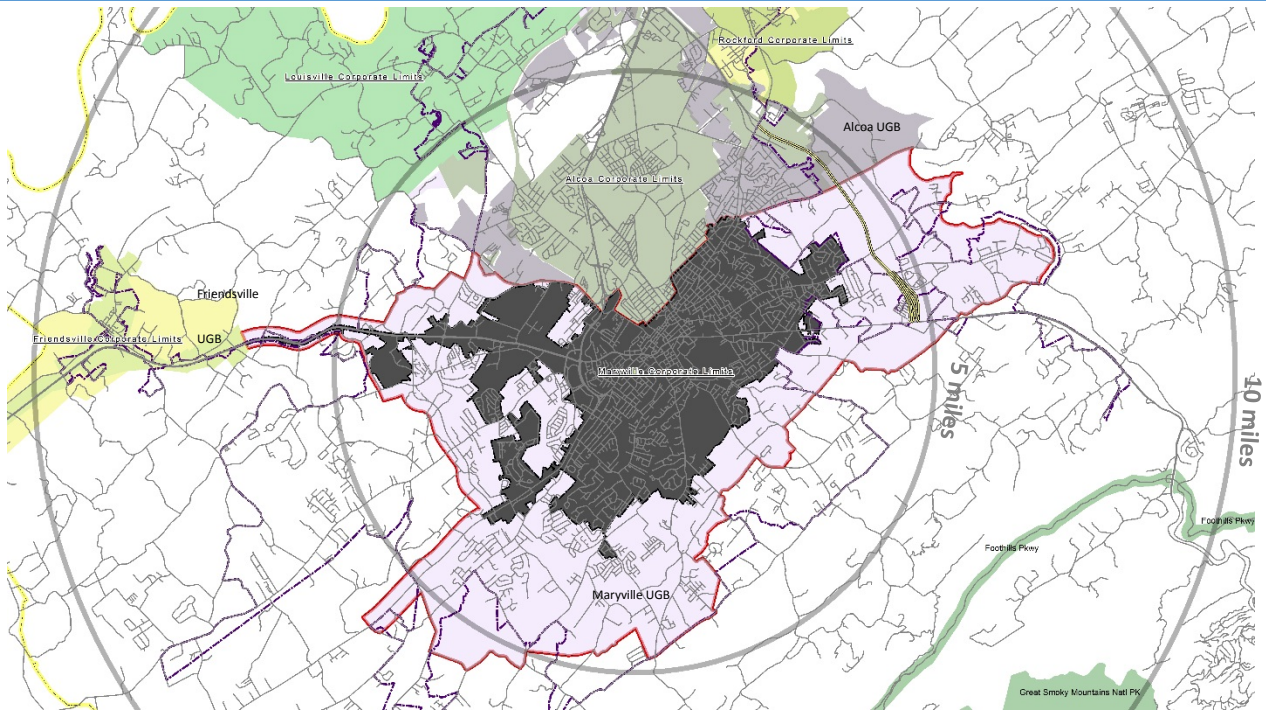


100%

- Commercial
- Industrial
- Institutional
- Natural Resources
- Residential
- Undeveloped

Institutional Zone Current Land Use

REGIONAL CONTEXT



Twenty two percent of the Blount County population resides in the City of Maryville. The City of Maryville land area (16.8 square miles) encompasses 3% of Blount County. The population density of Maryville is 1634.6 people per square mile; Blount County's population density per square mile is 220.2. [U.S. Census 2010]

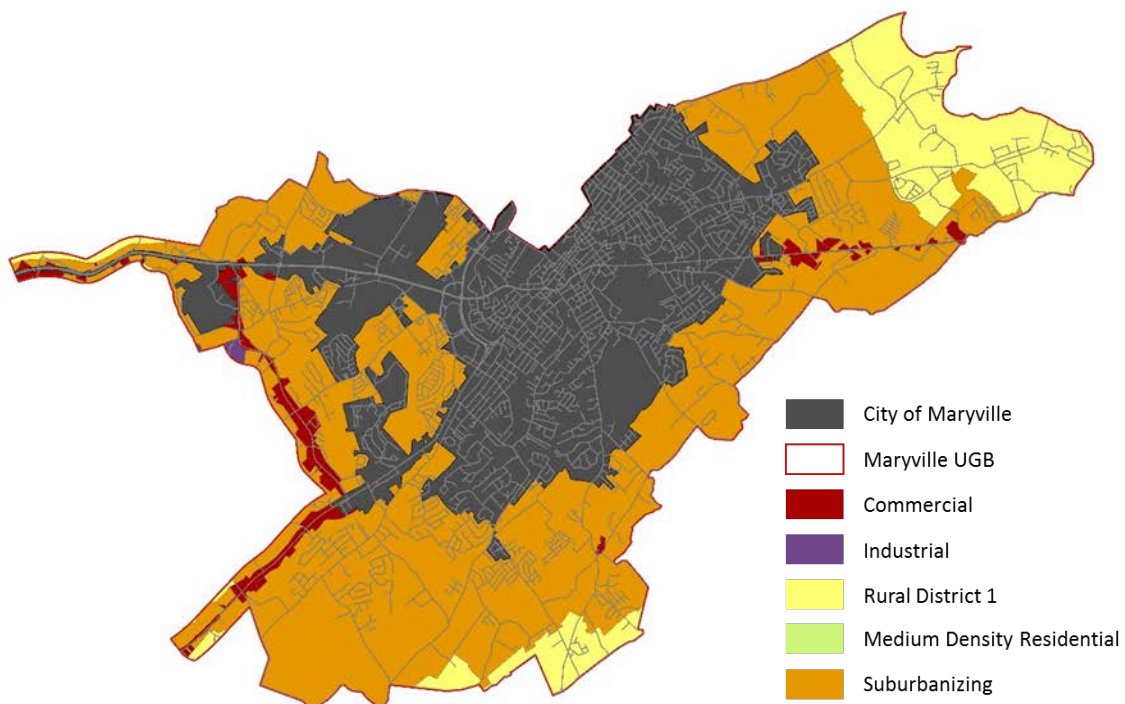
The Blount County Urbanized Area covers 89.26 square miles and includes the city of Maryville and its urban growth boundary. "An urbanized area consists of densely developed territory that contains 50,000 or more people. The Census Bureau delineates UAs to provide a better separation of urban and rural territory, population, and housing in the vicinity of large places" [U.S. Census].

The urban growth boundary (UGB) for Maryville covers 29.65 square miles. The purpose of an UGB is to "identify territory [contiguous to the existing boundaries of the municipality] that is reasonably compact yet sufficiently large to accommodate residential and nonresidential growth projected to occur during the next twenty years". The UGB is territory in which the municipality can more efficiently and effectively provide urban services. The UGB is intended to limit urban sprawl and thereby limit the "impact to agricultural lands, forests, recreational areas and wildlife management areas" [TCA 6-58-106]. A municipality can only annex land that is in the UGB [TCA 6-58-111].

CITY OF MARYVILLE LAND USE PLAN - 2035

Geographic area	Population		Housing units		Area in square miles			Density per square mile of land area	
		% of County		% of County	Total area	Water area	Land area	Population	Housing units
Blount County	123010		55,266		566.55	7.84	558.71	220.2	98.9
PLACE									
Alcoa city	8449	7%	4,175	8%	15.66	0.92	14.73	573.5	283.4
Eagleton Village CDP	5,052	4%	2,333	4%	2.94	0	2.94	1,719.40	794
Friendsville city	913	1%	414	1%	3.01	0	3.01	302.8	137.3
Louisville city	2,439	2%	1,128	2%	13.51	1.78	11.73	208	96.2
Maryville city	27,465	22%	11,629	21%	16.8	0	16.8	1,634.60	692.1
Rockford city	856	1%	387	1%	3.21	0.02	3.19	268.6	121.4
Seymour CDP (part)	2,610	2%	1,049	2%	3.76	0	3.76	693.6	278.8
Townsend city	448	0%	354	1%	2.17	0	2.17	206.9	163.5
Vonore town (part)	0	0%	0	0%	0.02	0.01	0.01	0	0
Walland CDP	259	0%	133	0%	1.52	0	1.52	169.9	87.3
Wildwood CDP	1,098	1%	448	1%	2.49	0	2.49	441.5	180.1

The majority of Maryville’s UGB is zoned, by the County, as Suburbanizing District. The purpose of the Suburbanizing District is to “regulate suburbanizing development of expected high to moderate density around the cities of Alcoa and Maryville” [Blount Co. Zoning Regulations, September 1, 2006, Section 9.1]. The second most common county zoning in Maryville’s UGB is Rural District 1, which is intended to “regulate rural development of expected moderate to low density within the county” [Blount Co. Zoning Regulations, September 1, 2006, Section 9.2]. The third most common county zoning in Maryville’s UGB is Commercial, which is intended to regulate commercial and other development of high to medium density around the cities of Alcoa and Maryville.



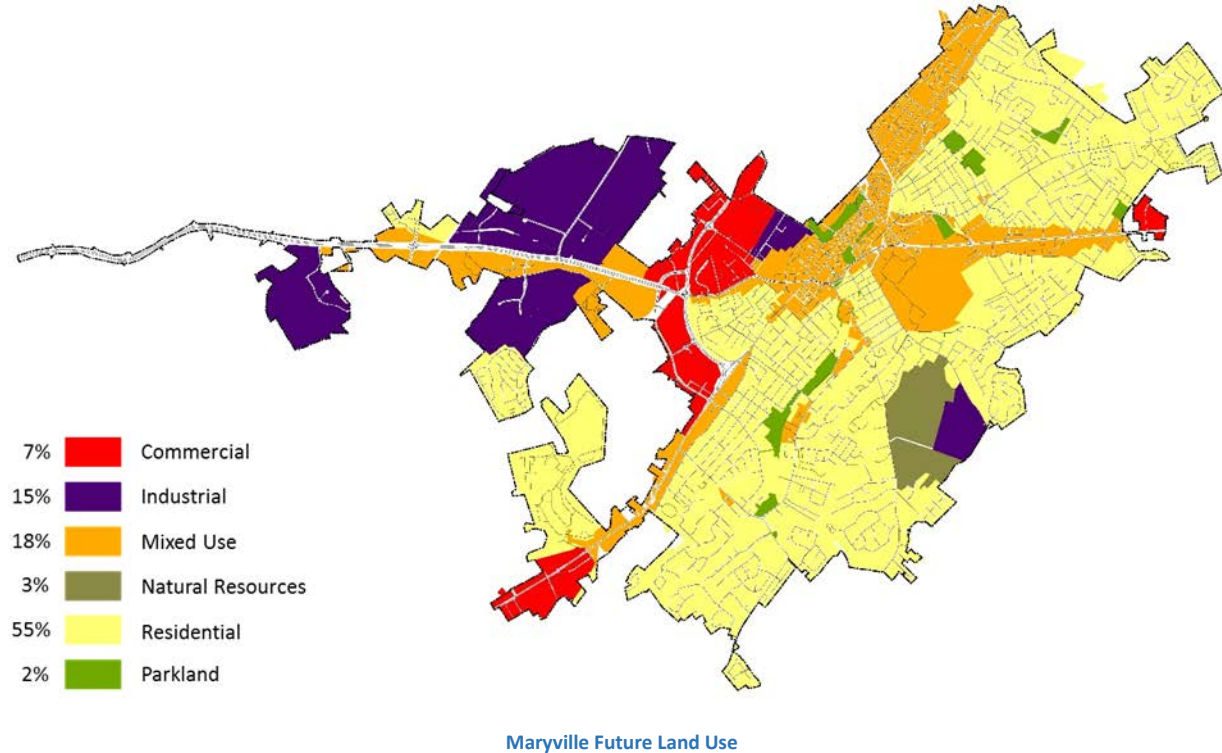
Blount County Zoning in the City of Maryville Urban Growth Boundary

MAJOR LAND USE GOALS

To facilitate a city where citizens and visitors may experience a quality life, the plan has four major goals with supporting objectives:

- **Create and sustain a city that is safe, efficient, and manageable**
 - Reduce traffic congestion on arterials and collectors
 - Improve accessibility to low intensity commercial uses
 - Limit the detrimental impact of flood events
 - Simplify the zoning ordinance
 - Optimize use of existing infrastructure
 - Facilitate infill development
 - Maintain a balance of land uses that provides:
 - Desirable housing options
 - Income generation opportunities
 - Convenient access to employment, to goods and to services
- **Create and sustain a city that is physically attractive, and that enhances marketability**
 - Create fair, affordable, city-wide design guidelines
 - Integrate parks and open space with new development
- **Create and sustain a city that is healthful and environmentally responsible**
 - Ensure development does not adversely affect water quality
 - Integrate low impact development guidelines into the city's subdivision ordinance
- **Create and sustain a city that is accessible by vehicles and pedestrians**
 - Create streets that accommodate all modes of travel
 - Provide low trafficked routes to primary destinations

FUTURE LAND USE



With the City's major land use goals in mind, the future land use designations are based on four major factors:

- Trending use
- Economic flexibility
- Compatibility between land uses
- Optimal transportation connections

TRENDING USE

The city's predominant land use is residential and is primarily separated from other land uses. Other separated land uses are industrial, and high intensity commercial and retail. Along the transportation corridors the land use has been mixed, primarily between commercial, institutional, and residential. The future land use for Maryville remains predominantly residential.

ECONOMIC FLEXIBILITY

The primary consideration is that the City is positioned to meet the future needs for residential, commercial, industrial, and public (institutional) uses. The Mixed Land Use category provides flexibility in future land use which will allow the City to meet market demands and allow property owners to maximize the utility of their lands.

OPTIMAL TRANSPORTATION CONNECTIONS

Future commercial land use will take advantage of primary travel routes and proximity to customer population centers. Mixed Use areas will provide both retail and residential opportunities, thereby reducing vehicle miles traveled for essential goods.

COMPATIBILITY

To achieve compatibility between land uses, the future land use plan adopts the following rationale:

- The most intense land use (industrial) should be a separated land use
- The least intense land use (low density residential) should be a separated land use
- Where feasible, land uses should be spatially tiered
 - Land uses with the highest potential for creating nuisance should have the most separation from land uses with highest sensitivity to nuisance
 - Medium intensity uses should buffer separated uses

SYNOPSIS OF LAND USE AND ZONING

RESIDENTIAL

- 61% of the city is currently zoned for residential
- 49% of the city is used for residential
- 55% of the city's future land use is designated for residential

MIXED USE

- 19% of the city is currently zoned for mixed use
- 18% of the city's future land use is designated for mixed use

COMMERCIAL


- 2% of the city is currently zoned for commercial
- 11% of the city is used for commercial
- 7% of the city's future land use is designated for commercial

INDUSTRIAL

- 13% of the city is currently zoned for industrial
- 5% of the city is used for industry
- 15% of the city's future land use is designated for industry

FUTURE LAND USE AND ZONING

The relationship of zoning to land use is demonstrated in the table below.

	<div style="display: flex; justify-content: space-between; align-items: center;"> Separated Uses ← Intensity of Use → Separated Uses </div>							
	Industrial		Commercial	Mixed Use		Residential		
Zoning Classification	Industry - 1	Industry - 2	Commercial - 1 (H)	Mixed Use - V		High Density Residential	Medium Density Residential	Low Density Residential
	Industry - 2	Commercial - 2 (L)	Commercial - 2 (L)	Commercial - 2 (L)	High Density Residential	Medium Density Residential	Low Density Residential	Institutional
	Commercial - 2 (L)		High Density Residential	Institutional		Low Density Residential	Institutional	
			Institutional	Medium Density Residential		Institutional		

The zoning classifications listed in the table are different than the City's current zoning classifications and are for demonstration purposes only. The purpose of the table is to provide conceptual guidance for future zoning discussions.

- Industry-1 designates heavy industrial use such as manufacturing, painting, assembly, and distribution centers
- Industry-2 designates light industrial use such as trades, vehicle repair, scrap works, welding, warehousing, and storage
- Commercial-1 designates heavy commercial use such as large retail, and parking
- Commercial-2 designates light commercial use such as small retail, restaurants, and offices
- High Density Residential designates attached housing, and apartment buildings
- Medium Density Residential designates residential areas with more than four dwelling units per acre
- Low Density Residential designates residential areas with four or less dwelling units per acre
- Mixed Use-Vertical designates commercial use with residential dwellings above

CONCLUSION

The City of Maryville's Land Use Plan provides a template for the future development of the City. This template is based on an understanding of how land within the City is currently used, its recent development trends, and the goals for the City as a whole. The Land Use Plan seeks to respect and protect the character of the city, those attributes that make Maryville a desirable place to live and do business, while enabling the City to meet the demands from its citizenry for a safe, beautiful, and prosperous community.