



Zoning Standards Summary

Department of Development Services

Commercial Design Criteria – Central Village Overlay Zone

Supplemental Uses [§14-211(6)], Commercial Design Criteria – Central Village Overlay Zone:

These standards pertain to all commercial developments within the Central Overlay District. The general requirements of underlying zones shall apply except for the instances defined below. In cases where information is conflicting, these rules supersede those of the underlying zone. These guidelines are found within the City of Maryville Ordinance, Title 14: Zoning and Land Use Controls, in the Supplemental Use Requirements Chapter.

Supplemental Use Requirements [§14-211]:

- (6) General provisions - commercial design criteria - Central Village Overlay Zone.
 - (a) The following items must be reviewed for compliance by the planning department before a building permit is issued. These standards shall apply to the design of all principal buildings and accessory structures used for non-residential land uses. These guidelines shall only apply in the Central Village Overlay Zone.
 - (i) Massing: Individual buildings shall not exceed an enclosed gross area of five thousand 5,000 square feet.
 - (ii) Setbacks: Setbacks from existing utility easements must be observed. All setbacks from street rights-of-way shall use the "front" setback. The following setbacks are for frontages on W. Broadway Avenue:
 - (A) Front:
 1. 15-foot minimum measured from the back of the curb is allowed, unless the right of way is greater than 15 feet from the curb. In this instance, the right of way would be the minimum setback.
 2. If a patio, drive lane, landscaped area, or other aesthetic feature is placed between the sidewalk and building, then a 30-foot maximum measured from the back of the curb is allowed.
 3. If a drive lane and a single row of parking is used in the site design, a 50-foot maximum setback measured from the back of the curb may be allowed. Any setback greater than 30 feet will require a special exception. Drive lanes and front parking are subject to screening requirements below.
 - (iii) Building height: Building height is limited to 3 stories, not to exceed 45 feet.

- (iv) Open space: The maximum lot coverage shall be 80% with open space comprising the remaining 20% of the site.
- (v) Landscaping:
 - (A) At least 20% of each lot must be landscaped. The majority of the landscaped area must be visible from the road. Consideration will be given for redevelopment sites.
 - (B) At least one, two-inch caliper tree shall be planted on the parcel for every one thousand square feet of building footprint and paved area (paved areas include private streets, parking spaces, driveways, paved storage areas). Preservation of existing trees may be applied toward this requirement.
- (vi) Parking: A single row of parking may be allowed between the building and the sidewalk for lots that front Broadway Avenue and shall be subject to screening requirements below. Additional parking is allowed on the side or rear of the building.
- (vii) Screening: Vehicular movement areas must be screened from sidewalks with a brick or stone wall (not cinderblock), a wrought iron fence (or other fence materials that are visually similar to wrought iron), and/or landscaping. This is required to establish/maintain an edge to the street consistent with the rest of the district. The brick or stone portion of the wall or fence may not be taller than 40 inches. Fences and walls with fences on top shall not exceed 6 feet in height.
- (viii) Facades and elevations:
 - (A) Facades shall provide fenestration toward pedestrian areas and streets for purposes of safety and aesthetics.
 - (B) Facades must not be monolithic; any of the following, or similar, design features may be used:
 1. Changes in surface planes
 2. Porches
 3. Awnings
 4. Entry stairs
 5. Doors
 6. Windows
 7. Chimneys
 8. Changes in construction materials
 9. Landscaping
 10. Horizontal and vertical sun-shading devices, such as walls, canopies, and similar devices, that extend a minimum of 3 feet beyond the wall or adjacent walls. Excessive repetition of only one

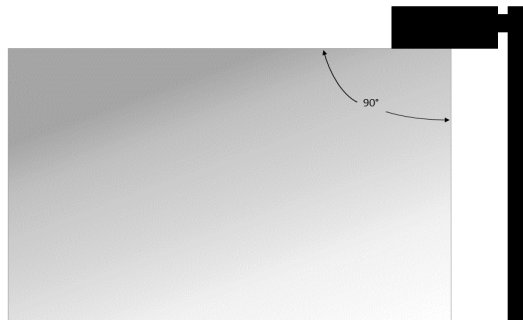
or two architectural features above is prohibited.

(ix) Materials:

- (A) Natural stone, brick, wood and fiber-cement siding that resembles horizontal lap siding should be used for all buildings.
- (B) Veneer materials are not allowed (i.e., vinyl siding, metal facade covering, stucco, and synthetic stucco).
- (C) Synthetic materials and stucco may only be allowed on a limited basis for accent, trim and cornices.

(x) Site lighting:

- (A) Light posts: Light posts that will be visible from adjacent residential properties shall not exceed 15 feet in height and shall have a dark finished paint color such as dark gray, dark brown, dark green or black.
- (B) Lights:
 1. Light fixtures that permit light to project up are prohibited. All outdoor light fixtures should be full-cutoff fixtures which do not allow light to be emitted above 90° (see illustration below).



2. Light fixtures used for architectural lighting, such as façade, feature, landscape and sign lighting, shall be aimed or directed to preclude light projection beyond immediate objects intended to be illuminated.
3. External wall or roof mounted flood lights shall not be installed on walls that face abutting residential uses without landscaping or other means to shield the view of such lights from residential properties.
4. Neon and bare fluorescent light tubes in any form on the exterior of a building or any other structure is prohibited.
5. Animated Lights: Flashing, blinking, strobe, neon, and searchlights are prohibited. Neon and other types of strings of lights that are located either inside and/or outside of windows and doors are prohibited.

- (C) Photometric plans may be required by planning staff to ensure lighting will not affect surrounding residential uses. Light trespass may not exceed 1.0 foot-candle at any property line that adjoins residential uses or property zoned for residential uses.
- (xi) Fences: Fences shall not be constructed of unfinished concrete block, chain link, vinyl or similar materials, metal wire, or mesh. When using fences with one finished side, the finished side shall be installed facing Broadway Avenue.
- (xii) Signs:
 - (A) Freestanding signs shall be no higher than 8 feet.
 - (B) Signs attached to buildings shall be no higher than 12 feet.
 - (C) Signs shall be constructed of natural materials (such as wood, brick, or stone) or constructed of materials that successfully simulate these natural materials.
 - (D) Signs must not be internally lit and the bulb(s) of proposed lighting must not be seen directly by motorists or adjacent residential property owners.
 - (E) The maximum area of freestanding signs is calculated as twenty-five percent 25% of the property frontage. Freestanding signs shall not exceed 20 square feet. Total signage area shall not exceed 50 square feet regardless of property frontage.
- (xiii) Ancillary structures and equipment: HVAC equipment, above ground grease traps, electric generators, fuel tanks, trash compactors, dumpsters, garbage containment areas, storage bins, and similar ancillary structures and equipment shall be screened from public roads and residential uses with landscaping, walls, or fences. Proposed screening, ancillary structures, and equipment shall be submitted for staff review before installation.
- (xiv) Storage developments: Personal Storage or "mini-storage" buildings are prohibited.
- (xv) Loading docks: Loading docks that face public roads must be screened using landscaping or architectural features.
- (xvi) Stored materiel: Shall not be visible from public roads.
- (xvii) Drive-through equipment: There shall be no outdoor drive-through menu boards, outdoor speaker equipment, and drive-through windows.

This information is provided as a summary only. For specific requirements for a particular property, please contact the Development Services offices.

Department of Development Services
 City of Maryville
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